

ORDINANCE NUMBER 2074 - 2024

AN ORDINANCE OF THE CITY OF DICKINSON, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY, ORDINANCE NUMBER 420-2001, AS HERETOFORE AMENDED, TO GRANT A SPECIFIC USE PERMIT (SUP) SO AS TO ALLOW THE USE OF CHURCH ON ± 0.33 ACRES OUT OF THE W G BANKS SURVEY, ABSTRACT NO. 36, MORE COMMONLY KNOWN AS 5818 E FM 517, AND GENERALLY LOCATED ON THE SOUTH SIDE OF E RM 517, APPROX. 160 FT EAST OF SCENIC DR, IN THE CITY OF DICKINSON, GALVESTON COUNTY, TEXAS; DIRECTING A CHANGE ACCORDINGLY IN THE OFFICIAL ZONING MAP OF THE CITY; PROVIDING A PENALTY OF AN AMOUNT NOT TO EXCEED \$2,000 FOR EACH DAY OF VIOLATION HEREOF; AND PROVIDING A REPEALER CLAUSE, A SAVINGS CLAUSE, A SEVERABILITY CLAUSE AND AN EFFECTIVE DATE.

WHEREAS, Iglesia Evangelica Poder del Dios Altisimo (the “Owner”) is the owner of ± 0.33 acres out of the W G Banks Survey, Abstract No. 36, more commonly known as 5818 E FM 517 generally located on the south side of E FM 517, approx. 160 ft east of Scenic Dr, said ± 0.33 being acres more particularly described in Exhibit “A” attached hereto (the “Property”), in the City of Dickinson, Galveston County, Texas (the “City”); and

WHEREAS, the Property presently has a zoning classification of Neighborhood Commercial (NC) under Ordinance No. 420-2001, the City’s Comprehensive Zoning Ordinance; and

WHEREAS, the Owner has made application to the City for an additional Specific Use Permit (SUP) for said Property to allow a church as authorized by the City’s Zoning Ordinance; and

WHEREAS, the City Secretary of Dickinson, Texas, directed that notices of a hearing be issued, as required by the Zoning Ordinance of the City of Dickinson and laws of the State of Texas, at a meeting of the City Council, to be held on the 23rd day of April, 2024, for the purpose of considering an Specific Use Permit (SUP) to allow a church; and

WHEREAS, the City Secretary of the said City accordingly caused to be issued and published the notices required by its Zoning Ordinance and laws of the State of Texas applicable thereto, the same having been published in a paper of general circulation in the City of Dickinson, Texas, at least fifteen (15) days prior to the time set for such hearing; and

WHEREAS, the City Council of said City, pursuant to such notice, held its public hearing and heard all persons wishing to be heard both for and against the aforesaid change in the Zoning Ordinance, on the 23rd day of April, 2024; and

WHEREAS, the City Council is of the opinion and finds that the granting of the additional Specific Use Permit (SUP) described herein would not be detrimental to the public health, safety, or general welfare, and will promote the best and most orderly development of the properties affected thereby, and to be affected thereby, in the City of Dickinson, and as well, the owners and occupants thereof, and the City generally.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF DICKINSON, TEXAS, THAT:

Section 1. The facts and matters set forth in the preamble of this Ordinance are hereby found to be true and correct.

Section 2. It is directed that the official zoning map of the City of Dickinson, adopted on the 24th day of June, 2001, by Ordinance No. 420-2001, shall be revised and amended to reflect the Specific Use Permit (SUP) granted by this Ordinance, with the appropriate reference thereon to the number and effective date of this Ordinance and a brief description of the nature of the change.

Section 3. All provisions of the ordinances of the City of Dickinson in conflict with the provisions of this Ordinance are hereby repealed, and all other provisions of the Ordinances of the City of Dickinson not in conflict with the provisions of this Ordinance, shall remain in full force and effect.

Section 4. The repeal of any ordinance or part of ordinances affectuated by the enactment of this Ordinance shall not be construed as abandoning any action now pending under or by virtue of such ordinance or as discontinuing, abating, modifying or altering any penalty accruing or to accrue, or as affecting any rights of the municipality under any section or provisions of any ordinance at the time of passage of this Ordinance.

Section 5. Any person who shall intentionally, knowingly, recklessly or with criminal negligence violate any provision contained in this Ordinance, or who shall commit or perform any act declared herein to be unlawful, shall be deemed guilty of a misdemeanor and, upon conviction thereof, shall be fined in an amount of not less than one dollar (\$1.00) and not more than two thousand dollars (\$2,000.00). Each day a violation continues shall constitute a separate offense.

Section 6. In the event any clause, phrase, provision, sentence, or part of this Ordinance or the application of the same to any person or circumstance shall for any reason be adjudged invalid or held unconstitutional by a court of competent jurisdiction, it shall not affect, impair, or invalidate this Ordinance as a whole or any part or provision

hereof other than the part declared to be invalid or unconstitutional; and the City Council of the City of Dickinson, Texas, declares that it would have passed each and every part of the same notwithstanding the omission of any such part thus declared to be invalid or unconstitutional, whether there be one or more parts.

PASSED AND APPROVED on first reading this 23rd day of April, 2024.

PASSED AND APPROVED on second and final reading this 28th day of May, 2024.

PASSED, APPROVED, AND ADOPTED on third and final reading this ____ day of _____, 2024 (Third reading suspended).



SEAN SKIPWORTH, Mayor
City of Dickinson, Texas

ATTEST:

Claude Allen Oliver

Claude Oliver, City Secretary
City of Dickinson, Texas

APPROVED AS TO FORM AND CONTENT:



NGHIEM DOAN, City Attorney
City of Dickinson, Texas

EXHIBIT “A” – Application, Location, Commission Report

PROJECT OVERVIEW

Project Type: Specific Use Permit | **Project Title:** Specific Use Permit
ID # 24-000190 | **Started** 02/21/2024 at 10:36 AM



Address

5818 E FM 517, Dickinson, TX USA 77539

Legal

Tropical Gardens Blk 2 Lot 5-6-7 & 8
SW G Banks 36

Description

church in Neighborhood commercial zoning district

PROPERTY DETAILS

Property ID	R171139
Flood Zone	Zone A
Zoning District	NC - Neighborhood Commercial

CONTACTS	CONTACT INFO	ADDRESS	CREDENTIALS	ROLE
Edgardo Melendez	melendezconsulting@yahoo.com 7137732033	8721 Lugary Dr Houston, TX 77074	-	APPLICANT
Iglesia Evangelica Poder del Dios Altisimo	-	2601 Hwy 3 Dickinson, TX 77539	-	Property Owner
Jose Angel Vargas	(832)258-1160	5818 E FM 517 Dickinson, TX 77539	-	Property Tenant

INFORMATION FIELDS

GCAD Property ID
171139

Address
5818 E FM 517

GCAD Legal Description
TROPICAL GARDENS REPLAT LOTS 5-8 BLOCK 2_2023025650

Property Acres
0.33

Property Owner
IGLESIA EVANGELICA PODER DEL DIOS ALTISIMO INC

Property Owner Address
3500 Hwy 3, Suite B

Owner Phone Number
832-258-1160

Owner Email
cernaluis75@gmail.com

Proof of Ownership
-

Signatory Authorization
-

Agent Authorization
5818 E FM 517 SUP Church_Agent Auth.pdf

Zoning Designation
Neighborhood Commercial District

Existing Use Type
Commercial

Existing Use
vacant

Proposed Use Type
Commercial

Proposed Use
church

Description of Specific Use Requested
church in NC zoning district

Applicant Statement - Zoning
5818 E FM 517 SUP Church_App Statement.pdf

Additional Supporting Documents
-

Technical Studies
-

Floor Plan
-

Planning & Zoning Commission Public Hearing
03/19/2024 6:00 PM

City Council Public Hearing
04/23/2024 6:00 PM

City Council Meeting
05/28/2024 6:00 PM

Request To
-

Owner Statement for the Commission consideration;

Subject: IGLESIA EVANGELICA PODER DEL DIOS ALTISIMO INC
Specific Use for a Christian Church in a NC Zone Tract of land located at
5818 E FM 517 ROAD, DICKINSON, TX 77539

(1) Conformance of the proposed zoning classification with the city's land use policies.

The Proposed 1 Story, 2,800 S.F. Small Christian Minority congregation building is to be in a current NC - Neighborhood Commercial District which is intended to provide for small-scale, limited impact retail and office businesses. The uses permitted within the "NC" district are meant to be compatible with nearby residential areas and serve the personal service needs of nearby residents, including Libraries, Membership organizations, Museums and galleries, Post offices, Restaurants and Specific uses permitted pursuant to article V. The above uses are not intended to be all-inclusive. Additional commercial and noncommercial uses may be permitted, which are similar, have comparable impact on adjacent property, and correspond with the purpose and restrictions of this district.

(2) The character of the neighborhood.

The Character of the area is a Blend of Vacant undeveloped land with Educational and low scale Commercial, Religious, and Residential Activities

(3) The zoning and use of nearby properties, and the extent to which the proposed zoning and use would be compatible.

The properties on both sides of the proposed Church are zone NC-Neighborhood Commercial District and the properties in the back are CR-Residential District, less than a mile to the West there is currently another Church "Baker Drive Baptist Church" with nearby properties in similar conditions to the proposed Land use and compactible with the described zones.

(4) The suitability of the property for the uses permitted by right in the proposed zoning district.

Please refer to attached site plan layout showing the proposed use of the property to accommodate the building footprint and supporting parking lot to provide and meet the current adopted City of Dickinson Code Compliance features and requirements.

(5) The extent to which approval of the application would detrimentally affect nearby properties.

The proposed Specific Use is currently located in a NC-Neighborhood Commercial District. The proposed use as a Church is compatible with the nearby properties and the impact should be beneficial by decreasing traffic volume, due to the fact that the religious services are held typically in off-peak traffic hours.

(6) The extent to which the proposed use would affect the capacity or safety of that portion of the street network, other public facilities or utilities, or present parking problems in the vicinity of the property.

The proposed Specific Use will provide on-site parking lot as per City of Dickinson requirements and will request to connect to the available public City of Dickinson Utilities, the connections will be made thru the supervision and required permits currently enforced by City of Dickinson.

(7) The extent to which approval of the application would harm the value of nearby properties.

The proposed Specific Use will improve an existing vacant land adding value to the nearby properties by stimulating growth and new construction helping expand the City of Dickinson economic activity and future development.



- LEGEND:
- AC - ACRES
 - A/C - AIR CONDITION
 - A.E. - AERIAL EASEMENT
 - B.L. - BUILDING LINE
 - BLDG. - BUILDING
 - BO. - BOLLARD
 - CB - CATCH BASIN
 - CONC. - CONCRETE
 - COVD. - COVERED
 - CP - CRIMPED PIPE
 - DA - DUMPSTER AREA
 - ELEC. - ELECTRIC
 - ESMT. - EASEMENT
 - FC - FILM CODE
 - FH - FIRE HYDRANT
 - FN. - FOUND
 - GM. - GAS METER
 - GCCF - GALVESTON COUNTY CLERKS FILE
 - GCDR - GALVESTON COUNTY DEED RECORDS
 - GCMR - GALVESTON COUNTY MAP RECORDS
 - HCPS - HANDICAP PARKING SPACE
 - HL&P - HOUSTON LIGHTING & POWER
 - I.P. - IRON PIPE
 - I.R. - IRON ROD
 - LP - LIGHT POST
 - MH - MANHOLE
 - MW - MONITORING WELL
 - P.O.B. - POINT OF BEGINNING
 - P.O.C. - POINT OF COMMENCING
 - PP - POWER POLE
 - PS - PARKING SPACES
 - PTP - PINCHED TOP PIPE
 - R.O.W. - RIGHT OF WAY
 - RR - RAILROAD
 - SAN. - SANITARY
 - SP - SERVICE POLE
 - SD, FT. - SQUARE FEET
 - S.S.E. - SANITARY SEWER EASEMENT
 - STM. - STORM
 - STM.S.E. - STORM SEWER EASEMENT
 - SWBT - SOUTHWESTERN BELL TELEPHONE
 - TEL. - TELEPHONE
 - TLP - TRAFFIC LIGHT POLE
 - TSB - TRAFFIC SIGNAL BOX
 - U.E. - UTILITY EASEMENT
 - WM - WATER METER
 - WV - WATER VALVE
 - X - BARBED WIRE FENCE
 - - CHAIN LINK FENCE
 - △ - CONCRETE
 - ▨ - COVERED CONCRETE
 - ▨ - ASPHALT
 - OHPL- OVERHEAD POWER LINES
 - - WOOD FENCE
 - - WROUGHT IRON FENCE

SCALE: 1" = 20'-0"

SCENIC DRIVE
(60' R.O.W.)

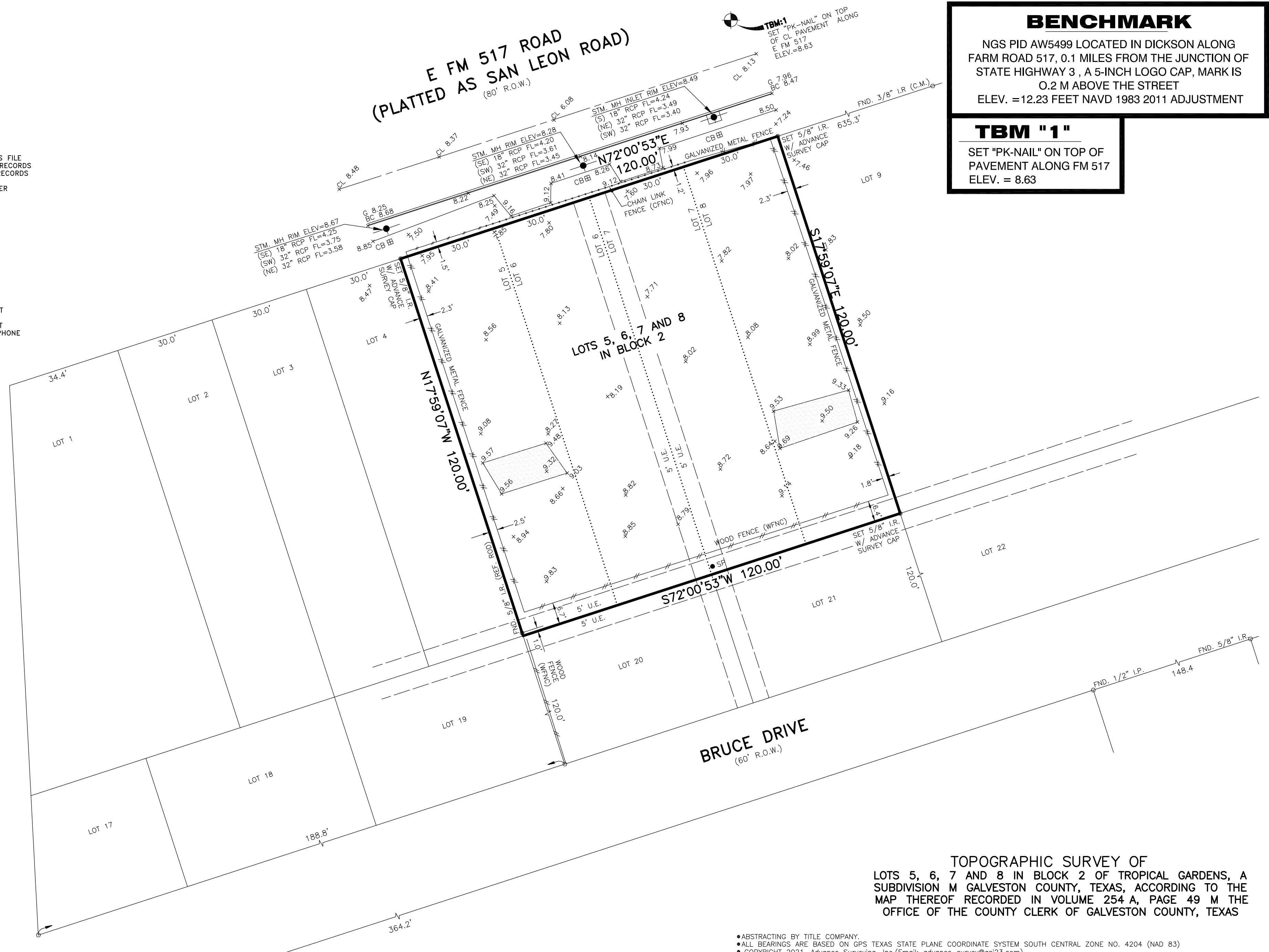
E FM 517 ROAD
(PLATTED AS SAN LEON ROAD)
(80' R.O.W.)

BENCHMARK

NGS PID AW5499 LOCATED IN DICKSON ALONG FARM ROAD 517, 0.1 MILES FROM THE JUNCTION OF STATE HIGHWAY 3, A 5-INCH LOGO CAP, MARK IS 0.2 M ABOVE THE STREET
ELEV. = 12.23 FEET NAVD 1983 2011 ADJUSTMENT

TBM "1"

SET "PK-NAIL" ON TOP OF PAVEMENT ALONG FM 517
ELEV. = 8.63



TOPOGRAPHIC SURVEY OF
LOTS 5, 6, 7 AND 8 IN BLOCK 2 OF TROPICAL GARDENS, A
SUBDIVISION M GALVESTON COUNTY, TEXAS, ACCORDING TO THE
MAP THEREOF RECORDED IN VOLUME 254 A, PAGE 49 M THE
OFFICE OF THE COUNTY CLERK OF GALVESTON COUNTY, TEXAS

- ABSTRACTING BY TITLE COMPANY.
- ALL BEARINGS ARE BASED ON GPS TEXAS STATE PLANE COORDINATE SYSTEM SOUTH CENTRAL ZONE NO. 4204 (NAD 83)
- COPYRIGHT 2021, Advance Surveying, Inc. (Email: advance_survey@asi23.com)

- NOTES:
1. THIS SURVEY WAS DONE WITHOUT THE BENEFIT OF A TITLE REPORT.
 2. SURVEYOR HAS NOT ABSTRACTED SUBJECT PROPERTY. THERE MAY BE EASEMENTS, BUILDING LINES AND OTHER MATTERS OF RECORD NOT SHOWN HEREON.
 3. BUILDER IS RESPONSIBLE FOR CHECKING DEED RESTRICTIONS.
 4. FENCES AS SHOWN.

FLOOD NOTE:

SUBJECT PROPERTY IS LOCATED IN A FEDERAL INSURANCE ADMINISTRATION DESIGNATED FLOOD HAZARD AREA AND IS IN ZONE AE
MAP # 48167C, PANEL 0235C, DATED 08-15-2019 This information is based on graphic plotting only. We do not assume responsibility for exact determination.

TO:

I, hereby certify that this survey was made on the ground and completed on this 13th day of August 2021 and that this plat correctly represents the facts found at the time of survey showing any improvements. There are no encroachments apparent on the ground, except as shown. This survey complies with the current Texas Society of Professional Surveyors' Standards and Specifications for Category 1A, Condition II Survey. Surveyor did not abstract property. Easements, building lines, etc., shown are as identified by:

GP _____ NA _____ of _____ NA _____

Henry M. Santos
HENRY M. SANTOS, Registered Professional Land Surveyor No. 5450

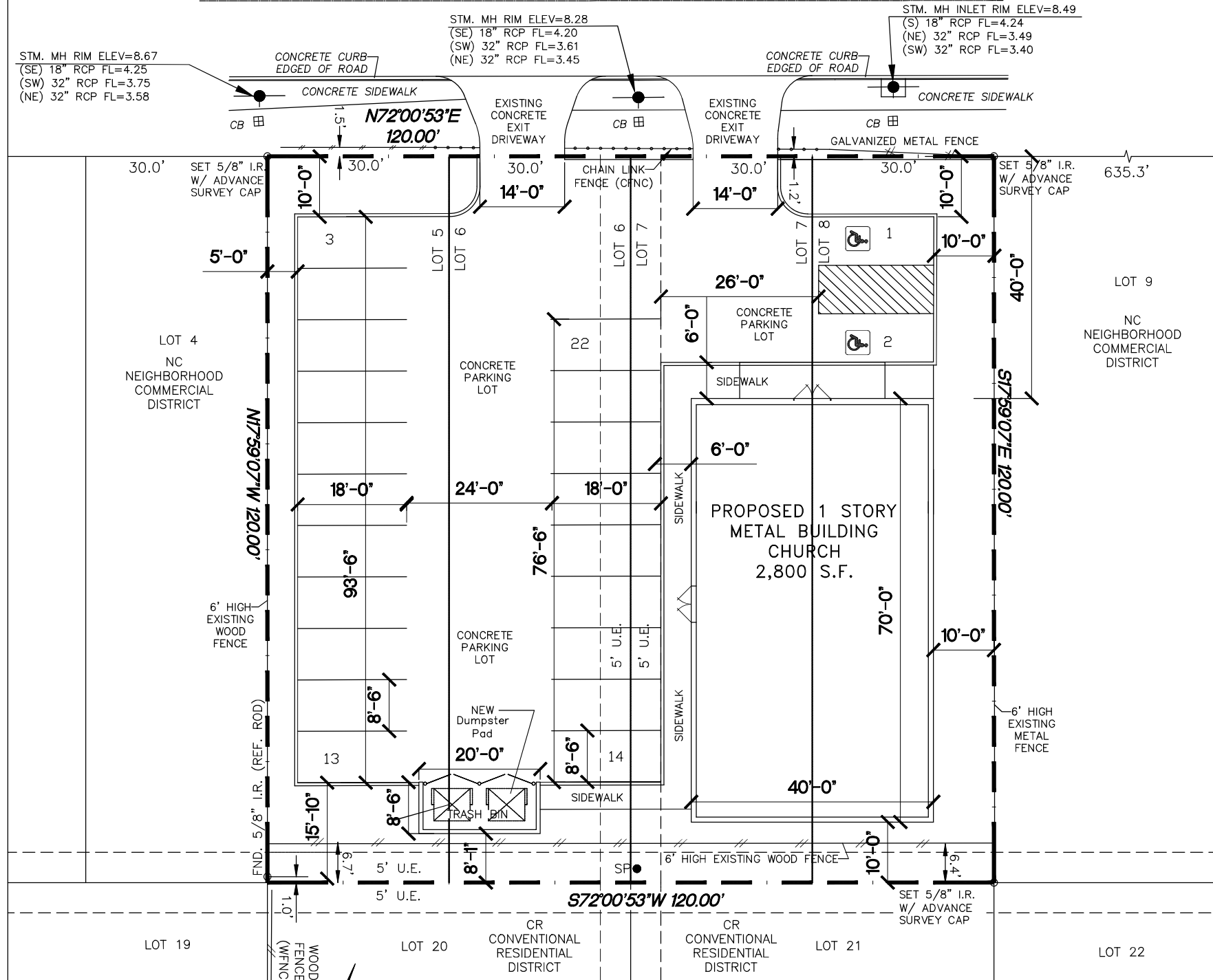


 ASI PHONE: 281 530-2939 FAX: 281 530-5464	PURCHASER: -	SCALE: 1" = 20'
	ADDRESS: 5818 E FM 517 ROAD DICKINSON, TEXAS 77539	FIELD WORK: 08-13-21/JD
	LENDER: -	DRAFTING: 08-25-21/RP
	TITLE CO.: -	FINAL CHECK: 08-26-21/AT
	JOB NO.: 0811783-21-01	REVISIONS:
	G.F. NO.: -	
KEY MAP: 167-D		

ADVANCE SURVEYING, INC.
10518 KIPP WAY SUITE A-2 • HOUSTON, TEXAS 77099 • TBPLS FIRM NO. 10099200

E FM 517 ROAD
(PLATTED AS SAN LEON ROAD)
CONCRETE PAVEMENT (80' R.O.W.)

TBM:1
SET "PK-NAIL" ON
TOP OF CL PAVEMENT
ALONG E FM 517
ELEV.=8.63



LEGAL DESCRIPTION
0.33 ACRES, LOTS 5, 6, 7 AND 8 IN
BLOCK 2 OF TROPICAL GARDENS, A
SUBDIVISION IN GALVESTON COUNTY,
TEXAS, ACCORDING TO THE MAP
THEREOF RECORDED IN VOLUME 254 A,
PAGE 49 IN THE OFFICE OF THE COUNTY
CLERK OF GALVESTON COUNTY, TEXAS
Property Address:
5818 E FM 517 ROAD,
DICKINSON, TEXAS 77539

FLOOD INFORMATION
*THIS TRACT OR LOT IS IN THE 100 YEAR FLOOD PLAIN AND
IS IN ZONE AE AS LOCATED BY FEDERAL INSURANCE
ADMINISTRATION DESIGNATED FLOOD HAZARD AREA BY
COMMUNITY NO. 480298, MAP NO. 46167C,
PANEL NO. 0235G, DATED 08-15-19.

*THIS INFORMATION IS BASED ON GRAPHICAL PLOTTING
ONLY. WE DO NOT ASSUME RESPONSIBILITY FOR EXACT
DETERMINATION.

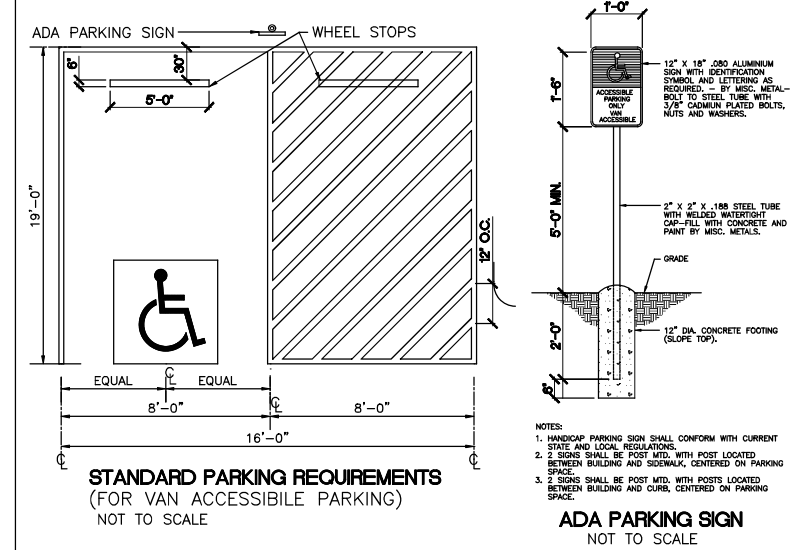
CITY OF DICKINSON PARKING LOT ANALYSIS

A. PROPOSED CHURCH BUILDING:
Square feet = 2,800 Sq.Ft.

B. NUMBER OF PARKING SPACES REQUIRED:

CHURCH BLDG.	2,800 S.F./	300 =	10
(1 SPACE X 4 OCCUPANTS) = SPACES REQUIRED			
# OF OCCUPANTS	88 /	4 =	22

C. NUMBER OF PARKING SPACES PROPOSED: 22
2 ACCESSIBLE (8%)



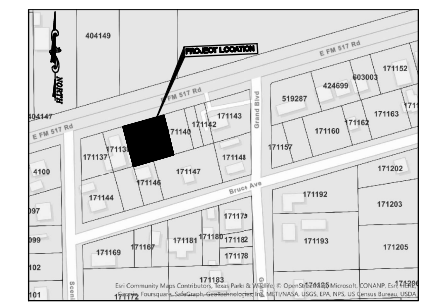
Land Use Intensity
Land Use Commercial Use Total: 14,400 S.F.
Total Building Square Footage: 2,800 S.F.
Total Parking Lot Area: 7,360 S.F.
Total Sidewalk Area: 630 S.F.
Impervious Cover Percent of Total 75%
Aggregate Building Coverage 20%

Name and address of the landowner;
IGLESIA EVANGELICA PODER DEL DIOS ALTISIMO INC,
5818 E FM 517 ROAD, DICKINSON, TX 77539

Engineering Consultants:
MELENDEZ CONSULTING LLC Firm#10999,
8721 LUGARY DR. HOUSTON TX 77074
melendezconsulting@yahoo.com
713 773 2033

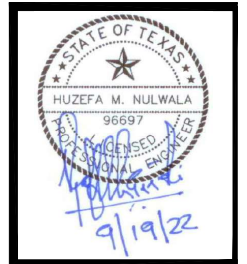
Agent and Project Manager;
Edgardo Melendez

Surveyor;
Advance Surveying, Inc
10518 Kipp Way Drive, Suite A-2
Houston, Texas 77099
TBPLS FIRM NO. 10099200
Phone: 281-530-2939



VICINITY MAP
NOT TO SCALE
KEY MAP# 167-D
ZIP CODE: 77539

DATE	DESCRIPTION	REVISIONS
9/10/22	SITE DEVELOPMENT	NO.
		DATE
		DESCRIPTION
		DATE
		DESCRIPTION
		DATE
		DESCRIPTION
		DATE
		DESCRIPTION
		DATE
		DESCRIPTION



PROJECT:
**IGLESIA EVANGELICA PODER
DEL DIOS ALTISIMO INC**
5818 E FM 517 ROAD, DICKINSON, TX 77539



SITE PLAN
A0.1

SITE PLAN LAYOUT
SCALE: 1"=10'

GENERAL NOTES:

- A- ALL EXCAVATED SOIL FROM FOUNDATION SHALL BE REMOVED UNLESS SPECIFICALLY CALLED FOR ON PLANS.
- B- AT NO TIME MAY RUN-OFF FROM CONSTRUCTION SITE TRAVERSE NEIGHBORING PROPERTY, RIGHTS-OF-WAY
- C- WE THE ENGINEER CERTIFY THAT THERE WILL BE NO IMPACT TO THE NEIGHBORING PROPERTIES DUE TO THIS NEW DEVELOPMENT AND DRAINAGE SYSTEM.

E FM 517 ROAD
(PLATTED AS SAN LEON ROAD)
CONCRETE PAVEMENT (80' R.O.W.)

TBM:1
SET "PK-NAIL" ON TOP OF CL PAVEMENT ALONG E FM 517 ELEV.=8.63

LEGAL DESCRIPTION
0.33 ACRES, LOTS 5, 6, 7 AND 8 IN BLOCK 2 OF TROPICAL GARDENS, A SUBDIVISION IN GALVESTON COUNTY, TEXAS, ACCORDING TO THE MAP THEREOF RECORDED IN VOLUME 254 A, PAGE 49 IN THE OFFICE OF THE COUNTY CLERK OF GALVESTON COUNTY, TEXAS
Property Address: 5818 E FM 517 ROAD, DICKINSON, TEXAS 77539

TBM "1"
SET "PK-NAIL" ON TOP OF PAVEMENT ALONG FM 517 ELEV. = 8.63

FLOOD INFORMATION
THIS TRACT OR LOT IS IN THE 100 YEAR FLOOD PLAIN AND IS IN ZONE AE AS LOCATED BY FEDERAL INSURANCE ADMINISTRATION DESIGNATED FLOOD HAZARD AREA BY COMMUNITY No. 480298, MAP No. 46167C, PANEL No. 0235G, DATED 08-15-19.

THIS INFORMATION IS BASED ON GRAPHICAL PLOTTING ONLY. WE DO NOT ASSUME RESPONSIBILITY FOR EXACT DETERMINATION.

BENCHMARK
NGS PID A45498 LOCATED IN DICKSON ALONG FARM ROAD 517, 0.1 MILES FROM THE JUNCTION OF STATE HIGHWAY 3, A 5-INCH LOGO CAP, MARK IS 0.2 M ABOVE THE STREET ELEV. = 12.23 FEET NAVD 1983 2011 ADJUSTMENT

PAVING KEYED NOTES:

- ① 6" THICK REINFORCED POURED IN PLACE CONCRETE PAVING SURFACE WITH LONGITUDINAL COLD KEY JOINTS 20' O.C. MAX. W/ LATERAL WET PRESSED CONTROL JOINTS 20' O.C. MAX. OVER 95% STANDARD PROCTOR COMPACTED 6" SUBSOIL BASE OR AS RECOMMENDED BY SOIL ENGINEER. ALL CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI MINIMUM AT 28 DAYS. ALL CONCRETE SHALL BE PRODUCED WITH A MINIMUM CEMENT CONTENT OF 520 LBS. PER CUBIC YARD (5.5 U.S. BAGS). ALL CONCRETE SHALL BE PRODUCED WITH AN ENTRAINED AIR CONTENT OF 4% BY VOLUME. ALL CONCRETE SHALL HAVE A MAXIMUM WATER/ CEMENT RATIO OF 0.53, (6.0 GAL./BAG.). THE MAXIMUM ALLOWABLE CONCRETE SLUMP SHALL BE 4 INCHES. PARKING AND DRIVE AREAS TO BE REINFORCED WITH #3 BARS AT 12" O.C. EACH DIRECTION. EXPANSION JOINTS SHALL BE PLACED AT A MAXIMUM DISTANCE OF 40'-0" O.C.
- ② CONCRETE WALKS TO CONSIST OF 4 INCHES OF 3000 PSI CONCRETE REINFORCED WITH #3 BARS @18" O.C. EACH WAY, OVER 2" SAND LEVELING BED OVER 95% STANDARD PROCTOR COMPACTED 6" SUBSOIL BASE OR AS RECOMMENDED BY SOIL ENGINEER
- ③ CONCRETE WALK TOOLED CONTROL JOINTS TO OCCUR AT 5'-0" O.C.
- ④ ACCESSIBLE ROUTES SHALL NOT EXCEED 5% OR 1:20 SLOPE IN THE DIRECTION OF TRAVEL NOR 2% OR 1:50 IN CROSS SLOPE.

ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON A SURFACE WITH A SLOPE NOT TO EXCEED 1 VERTICAL IN 50 HORIZONTAL.
PARKING SPACES AND ACCESS AISLES SHALL BE FIRM, STABLE, SMOOTH AND SLIP RESISTANT.
- ⑤ LANDSCAPED AREA

DRAINAGE DESIGN PARAMETERS:

TOTAL AREA= 14,400 SQ.FT. = 0.3306 ACRES
 EXISTING IMPERVIOUS AREA= 0 ACRES
 (BUILDINGS, DRIVEWAY)
 PROPOSED IMPERVIOUS AREA= 10,790 SQ.FT. = 0.2477 ACRES
 ESTIMATED MAXIMUM RUN-OFF FROM CURRENT CONDITIONS AT SITE, 100 YR.
 FREQUENCY STORM: Q = 11.998 x 0.35 x 0.3306 = 1.39 cfs

NOTE TO CIVIL DRAWINGS:

GENERAL CONTRACTOR MUST VERIFY LOCATION OF UNDERGROUND UTILITIES LINES INSIDE THE PROPERTY AND OUTSIDE IN PUBLIC RIGHT OF WAY BY CONTACTING TEXAS ONE CALL 713-223-4567

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO LOCATE ON SITE THE EXISTING UNDERGROUND UTILITIES BEFORE PERFORMING ANY CONSTRUCTION ACTIVITIES ON THIS PROJECT.

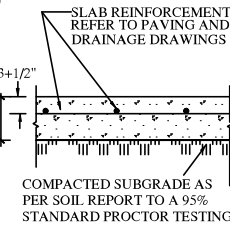
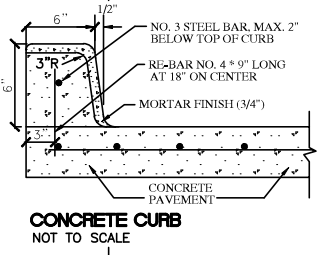
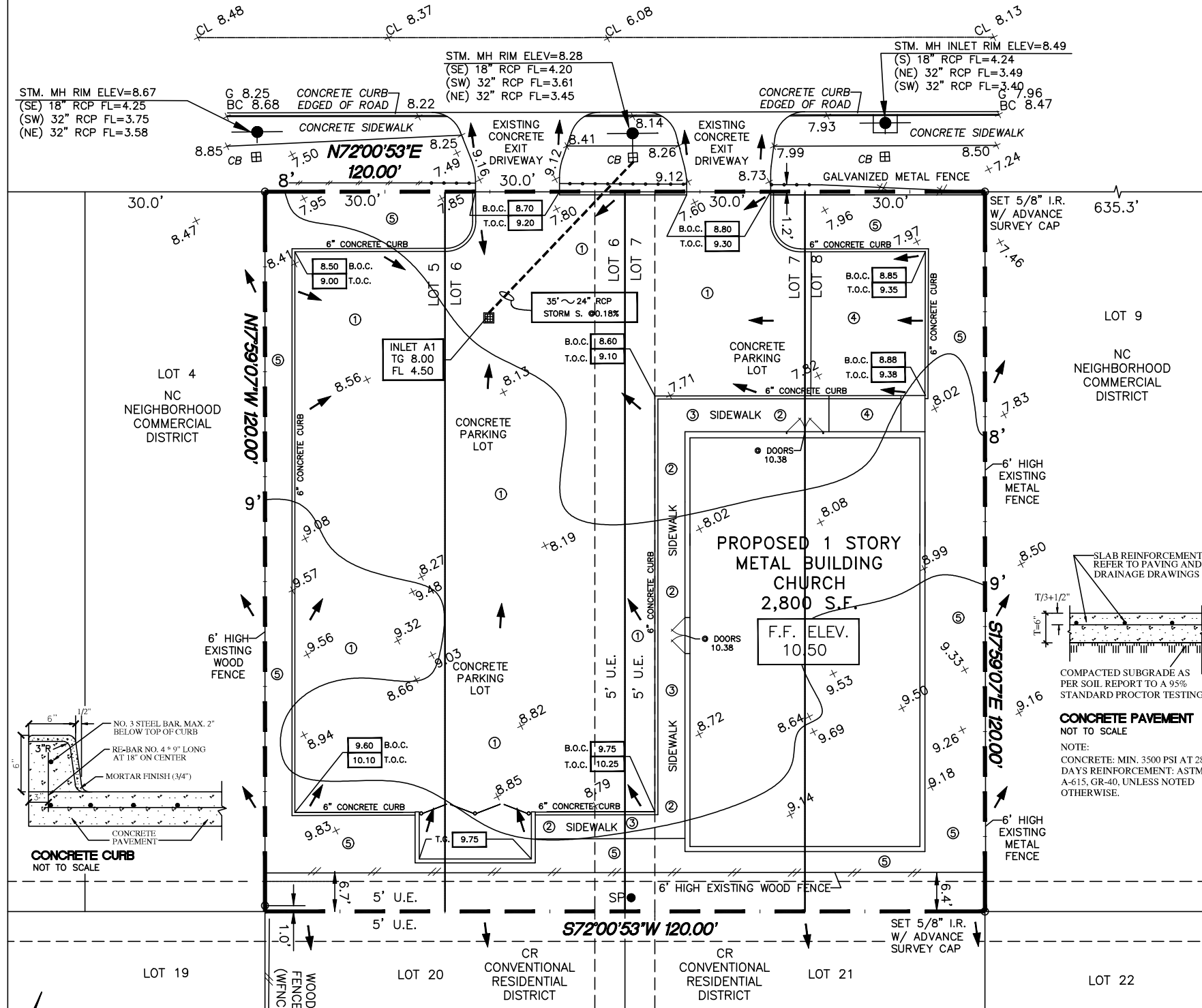
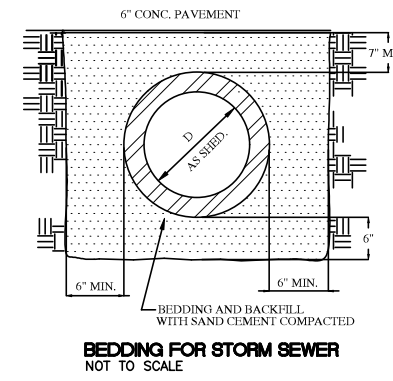
TEXAS LAW REQUIRES EXCAVATORS TO CONTACT A NOTIFICATION CENTER AT LEAST 48 HOURS BEFORE DIGGING.

CIVIL DRAWINGS ARE BASED ON TOPOGRAPHIC SURVEY INFORMATION. BOUNDARY SURVEYS HAVE THE RESPONSIBILITY TO THOROUGHLY RESEARCH PIPELINES, PIPELINE EASEMENT, OIL OR GAS WELL LOCATIONS, THESE FEATURES ARE NOT TIED BY TOPOGRAPHIC SURVEYS BUT ARE REQUIRED TO BE FULLY ADDRESSED ON BOUNDARY SURVEYS.

THE ENGINEER ACCEPTS NO RESPONSIBILITY FOR DESIGN CONFLICTS RESULTING FROM UNALLOCATED PIPELINE EASEMENTS OR ANY OTHER MAN MADE FEATURE NOT PROPERLY LOCATED ON THE BOUNDARY SURVEY.

LEGEND:

- 8.40 T.O.C. TOP OF CURB
- 8.90 B.O.C. BOTTOM OF CURB
- 8.90 T.G. TOP OF GRADE
- NATURAL GROUND ELEVATIONS
- FLOW DIRECTION
- PROPOSED INLET
- PROPERTY LINE
- STORM LINE
- FINISHED FLOOR ELEVATION

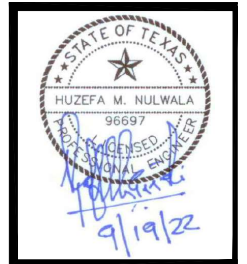


STORM SEWER RUNOFF: 1% EXCEEDANCE DATE 9/16/2022
100 YEAR STORM

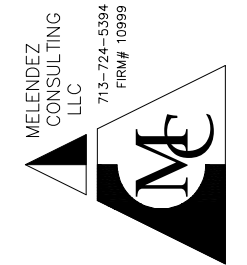
DRAINAGE AREA	ACRES (INDIV)	ACRES (CUM)	TC (INLET)	TC (SYSTEM)	B	D	E	I		C	CA	SUM CA	Q	
								(IN/HR)	(SYSTEM)				(INLET)	(SYSTEM)
A1	0.2477	0.2477	10.00	10.00	85	7.8	0.69	11.66	11.66	0.8	0.20	0.20	2.31	2.31
A2	0.0829	0.3306	10.00	10.00	85	7.8	0.69	11.66	11.66	0.3	0.02	0.22	0.29	2.60
TOTAL	0.3306												2.60	

SITE PLAN LAYOUT
SCALE: 1"=10'

DATE	DESCRIPTION	REVISIONS
9/10/22	SITE DEVELOPMENT	



PROJECT:
IGLESIA EVANGELICA PODER DEL DIOS ALTISIMO INC
 5818 E FM 517 ROAD, DICKINSON, TX 77539



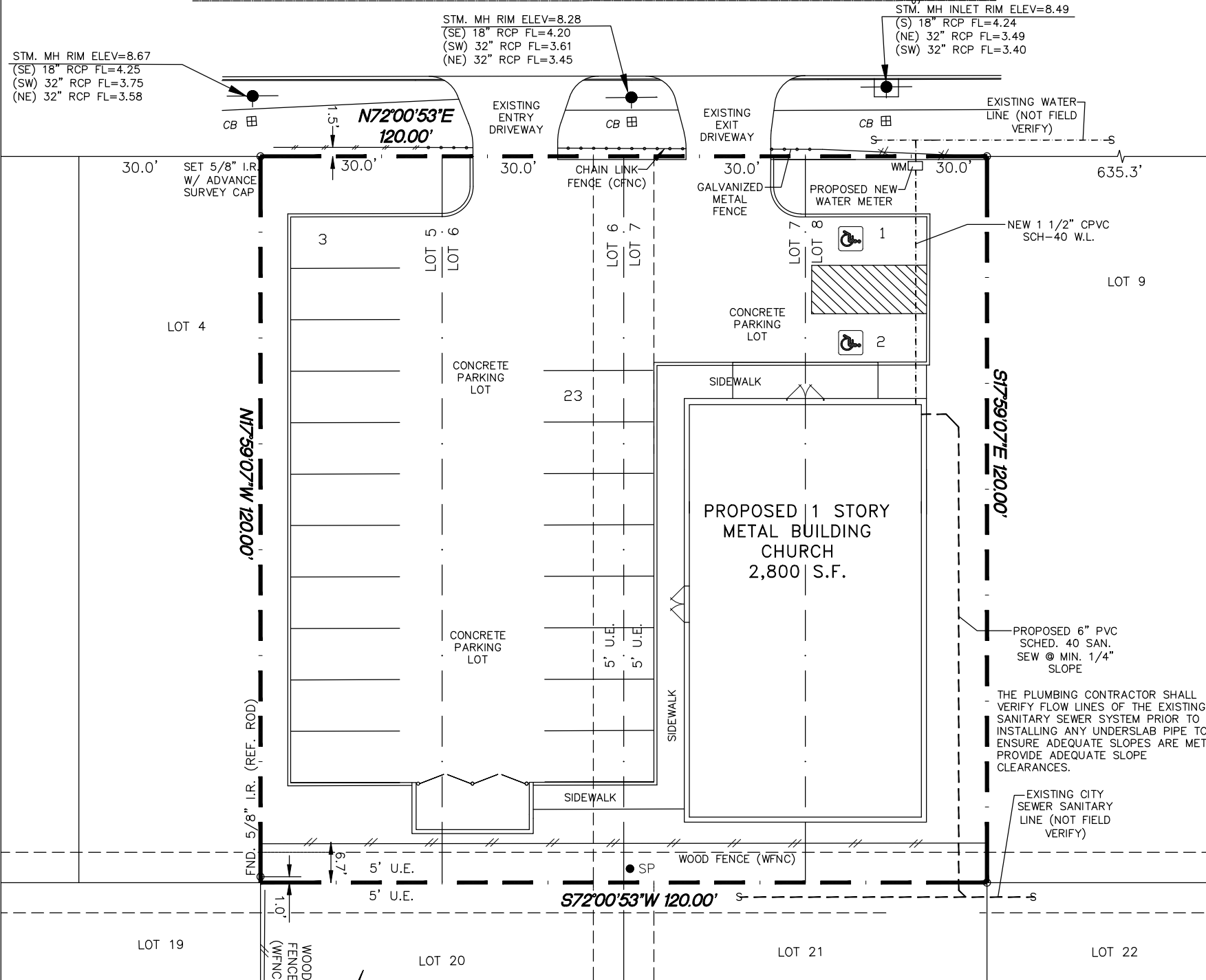
SITE PLAN
C.O.1

LEGAL DESCRIPTION
 0.33 ACRES, LOTS 5, 6, 7 AND 8 IN BLOCK 2 OF TROPICAL GARDENS, A SUBDIVISION IN GALVESTON COUNTY, TEXAS, ACCORDING TO THE MAP THEREOF RECORDED IN VOLUME 254 A, PAGE 49 IN THE OFFICE OF THE COUNTY CLERK OF GALVESTON COUNTY, TEXAS
 Property Address: 5818 E FM 517 ROAD, DICKINSON, TEXAS 77539

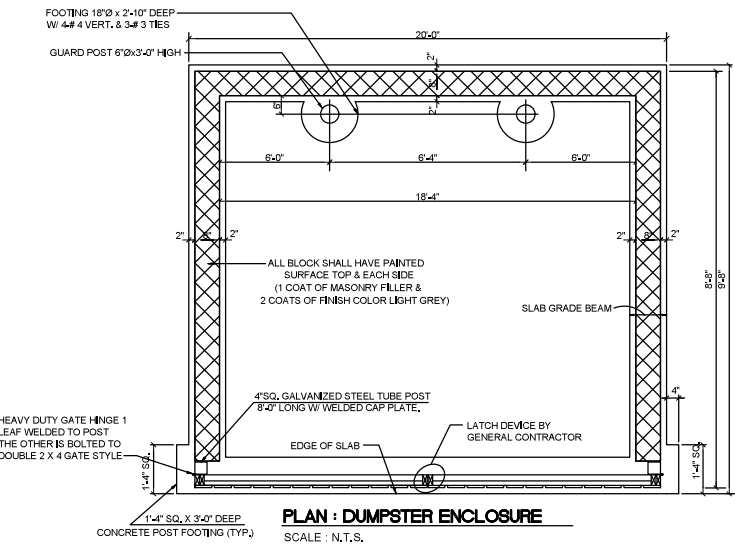
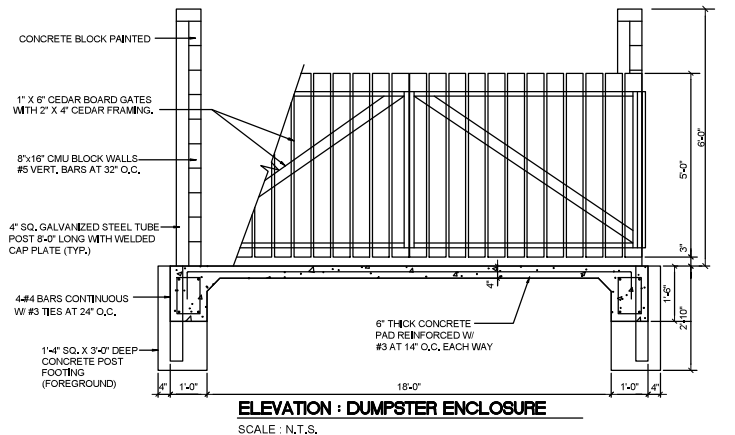
FLOOD INFORMATION
 *THIS TRACT OR LOT IS IN THE 100 YEAR FLOOD PLAIN AND IS IN ZONE AE AS LOCATED BY FEDERAL INSURANCE ADMINISTRATION DESIGNATED FLOOD HAZARD AREA BY COMMUNITY No. 480296, MAP No. 48167C, PANEL No. 0235G, DATED 08-15-19.
 *THIS INFORMATION IS BASED ON GRAPHICAL PLOTTING ONLY. WE DO NOT ASSUME RESPONSIBILITY FOR EXACT DETERMINATION.

E FM 517 ROAD
 (PLATTED AS SAN LEON ROAD)
 CONCRETE PAVEMENT (80' R.O.W.)

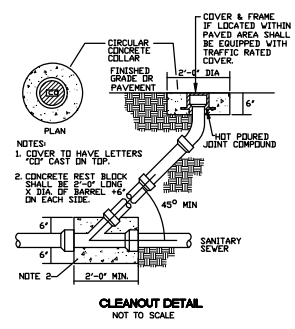
TBM:1
 SET "PK-NAIL" ON TOP OF CL PAVEMENT ALONG E FM 517 ELEV.=8.63



SITE UTILITIES
 SCALE: 1"=10'

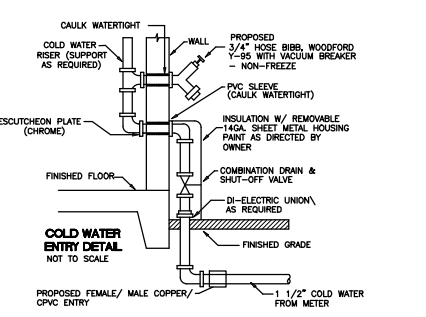


- GENERAL NOTES**
1. THE GENERAL CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINTS OF SERVICE CONNECTION AT EXISTING SITE UTILITIES. REFER TO THE BUILDING ELECTRICAL AND PLUMBING SHEETS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
 2. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED BY GENERAL CONTRACTOR DETERMINED FOR THE MOST ECONOMICAL INSTALLATION.
 3. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH POWER COMPANY IN DETERMINING ELECTRICAL SERVICE TRANSFORMER LOCATION AND TYPE.
 4. CONTRACTOR SHALL FURNISH A TYPE FILE SYSTEM FOR ALL EQUIPMENT AND MAINTENANCE OF EACH PIECE OF EQUIPMENT.
 5. ALL ELECTRICAL CIRCUITS HAVE TO BE CLEARLY MARKED AS TO WHAT EACH CONTROLS.
 6. CONNECTIONS AND PROPOSED UTILITIES ARE SHOWN WHERE INTENDED TO BE CONSTRUCTED. ANY MOVEMENT OF THESE FACILITIES SHALL BE APPROVED BY THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.
 7. GENERAL CONTRACTOR SHALL SUPPLY ALL HOSE CONNECTIONS AND OTHER INSTALLATIONS, WHERE AIR GAP CANNOT BE ASSURED, WITH A CITY OF JURISDICTION APPROVED BACKFLOW PREVENTIVE.
 8. FIELD VERIFY ALL DIMENSIONS AND PROPOSED UTILITIES LOCATION PRIOR TO BEGINNING NEW CONSTRUCTION.
 9. REPAIR ANY DAMAGE TO EXISTING SITE CONDITIONS DUE TO CONSTRUCTION.
 10. CONTRACTOR TO COORDINATE CROSS OVER OF LINES VERIFY STORM DRAINAGE, SEWER AND WATER LINES, IRRIGATION SLEEVES, GAS LINES, ELECTRICAL CONDUITS, PHONE SLEEVES, FIRE LINES, ETC.. BEFORE INSTALLATION OF ANY LINES (V.I.F.)

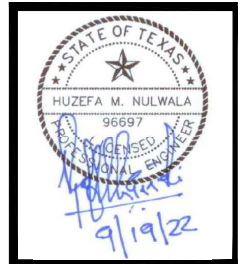


S.S. CLEANOUTS NOTES:

1. LOCATION: SHALL BE ACCESSIBLE. UPC 707.9.
2. REQUIRED AT UPPER TERMINAL OF HORIZONTAL RUNS. UPC 707.4.
3. REQUIRED AT EACH 100 FT. OF RUN. UPC 707.
4. REQUIRED FOR EACH 135' OF DIRECTION CHANGE. UPC 707.6.
5. CLEANOUT REQUIRED AT JUNCTION BETWEEN BUILDING DRAIN AND BUILDING SEWER.
6. CLEANOUTS ARE NOT REQUIRED ON HORIZONTAL PIPING ABOVE THE FIRST FLOOR.
7. UNDERFLOOR PIPING SHOULD EXTEND ABOVE FLOOR OR OUTSIDE BUILDING WHEN ACCESS IS LESS THAN 18" VERTICAL OR 30" HORIZONTAL. UPC 707.10.



DATE	DESCRIPTION	REVISIONS



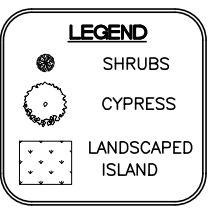
PROJECT:
IGLESIA EVANGELICA PODER DEL DIOS ALTISIMO INC
 5818 E FM 517 ROAD, DICKINSON, TX 77539



SITE UTILITIES
 SHEET NO. **C0.2**

PLANT SCHEDULE					
KEY	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARKS
QV	7	CUPRESSUS	CYPRESS 2 YEAR PLANT	2" CAL. 30 GAL.	STRAIGHT SINGLE TRUNK FULL SYMMETRICAL HEAD 12"-14" HT. X 7"-8" SPREAD
QS	40	MYRICA PUSILLA	DWARF WAX MYRTLE 2 YEAR PLANT	5 GAL.	18" HT. X 15" MIN. SPREAD FULL POT, 2'-0" o.c.
SS	FULL		SAINT AUGUSTINE	-	SOLID SOD GRASS

E FM 517 ROAD
(PLATTED AS SAN LEON ROAD)
CONCRETE PAVEMENT (80' R.O.W.)



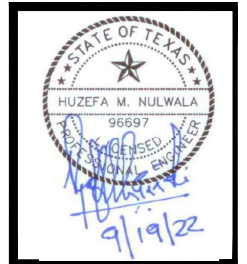
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LANDSCAPE ANALYSIS FORM

- STREET TREES:**
Length of property line in lineal feet as measured along all sides of the property fronting on a public street(s). 120' Lineal feet/30 = 4 STREET TREES REQUIRED
- PARKING LOT TREES:**
Number of new parking stalls to be constructed 22/10 = 3 Parking lot trees required.
- TOTAL TREE REQUIREMENT:**
1 + 2 = 7 total number of street and parking lot trees required.
- SHRUBS:** (Are required for new or the expanded portion of parking lots)
Total number of street trees required, from 1 above X 10 = 40 shrubs.
- LANDSCAPED ISLANDS:**
Total number of landscaped islands required, from 2 above = 3 islands.

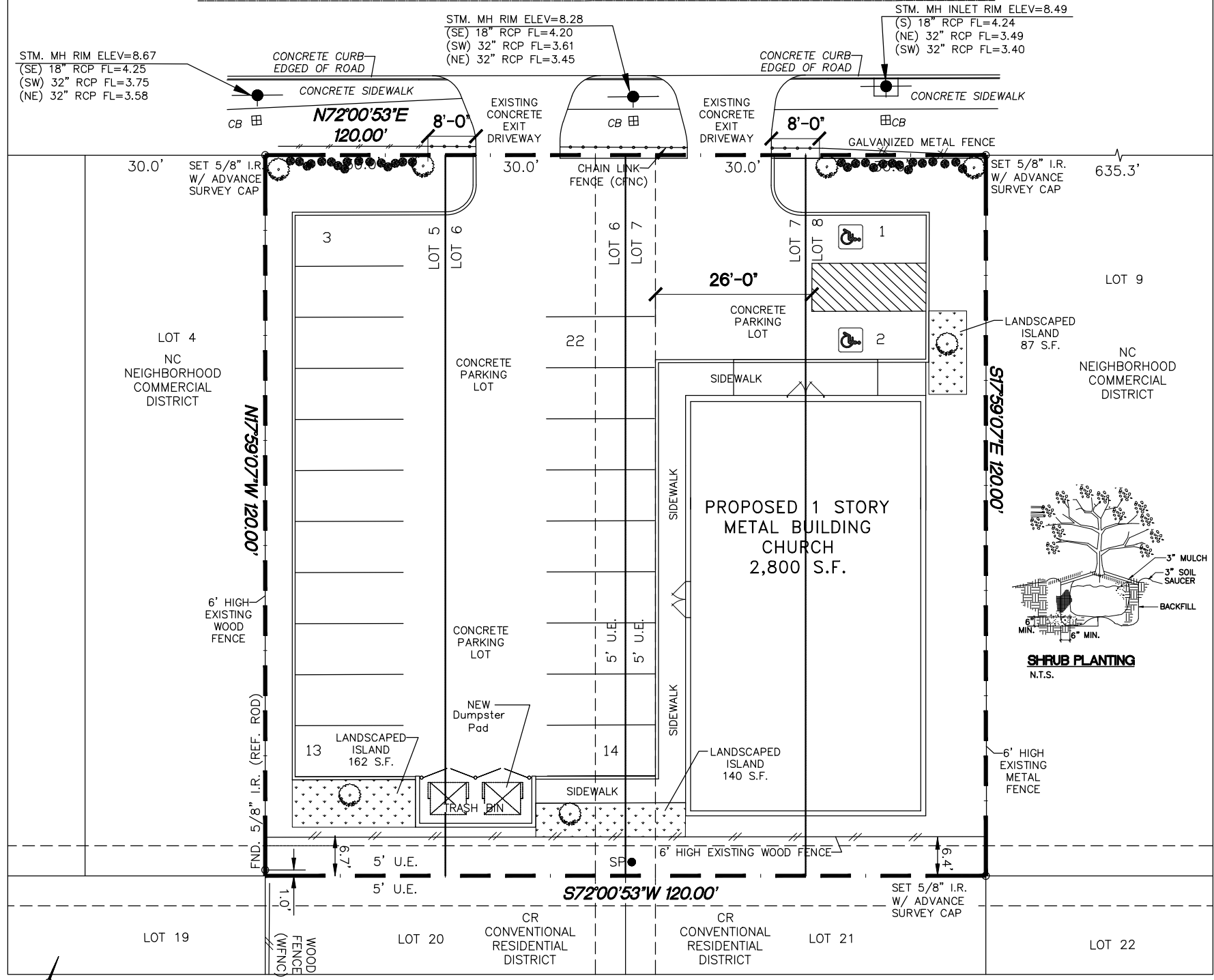
DATE	DESCRIPTION	REVISIONS
9/10/22	SITE DEVELOPMENT	



PROJECT: **IGLESIA EVANGELICA PODER DEL DIOS ALTISIMO INC**
5818 E FM 517 ROAD, DICKINSON, TX 77539



LANDSCAPED PLAN
SHEET NO. L0.1

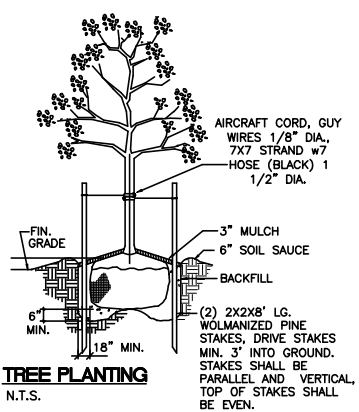
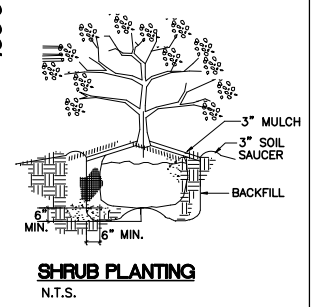


General landscaping requirements.
No certificate of occupancy shall be issued for any lot or tract of land until and unless the following minimum landscaping requirements have been met:
Nonresidential uses (commercial and industrial):
One (1) two-inch caliper tree per thirty (30) feet of street frontage, or fraction thereof. Trees shall be located along all street frontages spaced at a distance of no more than thirty (30) linear feet apart. Trees can be placed in clusters and need not be placed at even intervals. If there are existing trees of the required size in the front or side yards equal to the required total number of trees, this requirement shall be waived.

(2) Requirements applicable to all developments: a. Trees to be removed or preserved shall be measured by diameter and trees to be planted shall be measured by caliper or gallon. b. Landscaping required by calculating the number of parking spaces provided must be generally distributed among the parking areas. c. Quantity of trees to be planted must be determined by calculating the actual number of parking spaces provided. d. Landscaping must be in place and in compliance with this chapter prior to the issuance of a certificate of occupancy. e. All required trees must be selected from the qualified tree list of the city. f. With respect to all development projects, other than those involving single-family residences, adequate irrigation systems shall be installed by the initial owner, in order to provide reasonable assurance that all trees planted under the requirements of this section will survive for a period of two (2) years. g. Trees that do not survive this minimum period must be replaced; provided, however, if the initial owner planted trees in excess of the requirements of this section such owner shall not be required to replace any such excess trees. h. All previous land areas shall be brought to finish grade and seeded or planted in sod, native grasses or other appropriate ground covers.

Streetscape requirements.
(a) In addition to the general landscaping requirements of section above, the owner of property subject to this chapter, other than single-family residential property, shall be required to landscape along each side of a parking lot that is adjacent to a street right-of-way. Such landscaping shall hereinafter be termed "streetscape." Streetscapes shall be required along the entire length of a parking lot adjacent to a public right-of-way.
(b) A landscaping screen of not less than one and one-half (1 1/2) feet in height, comprised of a minimum of ten (10) shrubs for every thirty (30) linear feet of frontage on a street right-of-way, excluding any driveways, shall be required along the entire length of such street right-of-way. The landscaping screen shall not be required across driveways, or within eight (8) feet of a driveway. The owner of the property shall maintain the trees and shrubs in such a manner as to prevent visual obstruction.
(c) An increase in the size of an existing parking lot by increasing the number of parking spaces by twenty-five (25) percent or more shall result in the owner of the property being required to add additional landscaping, if necessary, to conform to the requirements of this chapter.

Interior parking lot landscaping requirements.
(1) For each ten (10) parking spaces, or fraction thereof, landscaped areas of at least seventy-five (75) square feet, or an equivalent area, must be provided within the parking lot. One thirty (30) gallon tree from the qualified tree list shall be provided for each required landscaped island. The remaining area or island must be landscaped with plants not exceeding three (3) feet in height. (2) Landscaped islands shall be protected from vehicle intrusion by curbs or similar structures. The front of a vehicle may encroach upon the landscaped island when the area is a minimum of four (4) feet in depth and protected by wheel stops or curbs. Two (2) feet of the landscaped area may be counted as part of the required depth of the parking space.



- GENERAL PLANT NOTES**
- ALL PLANTS SHALL BE FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE.
 - CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION OR TRENCHING. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY DAMAGE TO UTILITIES OR OTHER.
 - GRADE SURFACE TO ENSURE AREAS DRAIN AWAY FROM STRUCTURES AND TO PREVENT PONDING AND POCKETS OF SURFACE DRAINAGE SPREAD AND AVERAGE OF 1" SHARP SAND OVER ENTIRE AREA TO BE SOLID SODDED. HAND RAKE ENTIRE AREA PRIOR TO SODDING; OBTAIN OWNER'S REPRESENTATIVE'S APPROVAL OF GRADE PRIOR TO SODDING.
 - ALLOW FOR FINISHED GRADE AT EDGE OF WALKS AND CURBS TO BE A MINIMUM OF 1" TO 1 1/2" BELOW TOP OF SIDEWALK AND CURBS AREAS SO GRASS WILL NOT HOLD WATER ON WALK AND SHALL BE CONSISTENT ALONG EDGE.
 - LANDSCAPE CONTRACTOR TO COORDINATE AND SCHEDULE HIS WORK WITH OTHER CONTRACTORS WORKING ON THE PROJECT SITE.
 - ALL LANDSCAPE AREAS WILL BE IRRIGATED.

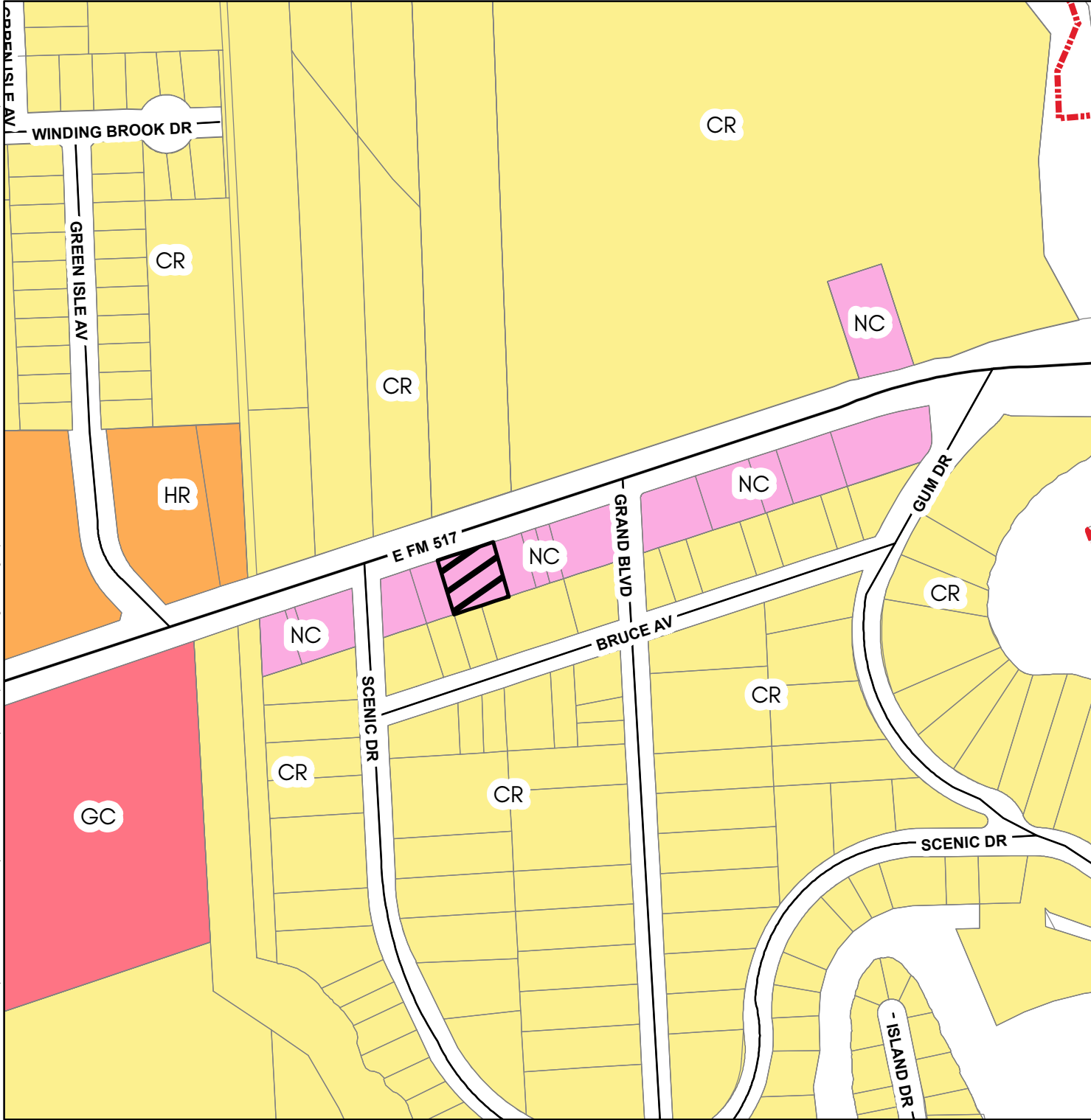
SITE PLAN LANDSCAPED
SCALE: 1"=10'



Specific Use Permit

- Vicinity Map -





5818 E FM 517

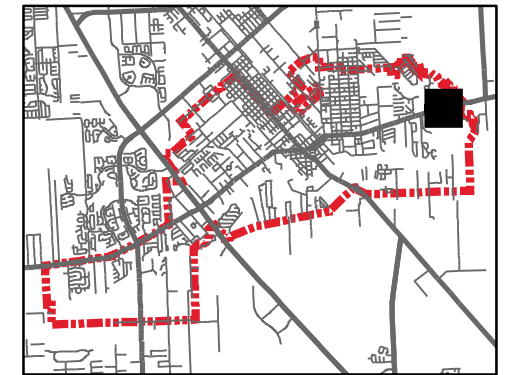


 Subject Property

 City Limit

Zoning District

-  "CR" Conventional Residential
-  "HR" High-Density Residential
-  "NC" Neighborhood Commercial
-  "GC" General Commercial



The City of Dickinson Texas makes no warranty, representation, or guarantee regarding the accuracy of this map. This map is intended for display purposes only and does not replace official recorded documents.

1 inch = 300 feet

Date: 2/25/2022



Planning & Zoning Commission

Specific Use Permit

March 19, 2024

Commission Report

Application No.: 24-000190

Request: Specific Use Permit for a Church in the Neighborhood Commercial ("NC") zoning district.

Applicant: Edgardo Melendez

Owner: Iglesia Evangelica Poder del Dios Altisimo Inc.

Subject Property: Approximately 0.33 acres, located at 5818 E FM 517, and legally described as Abst 36 W G Banks Lots 5-6-7 & 8 Block 2 Tropical Gardens.

Parcel Information:

Zoning: Neighborhood Commercial ("NC")
Current Use: Vacant
Proposed Use: Church

Surrounding Properties Information:

North: Conventional Residential ("CR")
Right-of-way (E FM 517)
West: Neighborhood Commercial ("NC")
East: Neighborhood Commercial ("NC")
South: Conventional Residential ("CR")

Background:

The purpose of the requested Specific Use Permit (SUP) is to permit the property owner to construct a church. The subject property is zoned Neighborhood Commercial ("NC"). Churches are permitted within all zoning districts with an approved SUP. A church is defined in the City of Dickinson Code of Ordinances Section 18-11:

Church or place of worship means an institution where people regularly attend or participate in or hold religious services, meetings, and other activities. The term "church" shall not carry a secular connotation and shall include buildings adequately capable of assembly occupancy in which religious services of any denomination are held.

Timeline:

June 28, 2022	SUP for a Church approved by City Council (Ord. 993-2022)
October 24, 2022	Site Development approved by P&Z (obtain permit within 15 months)
January 25, 2023	Plat application received (received 4 rounds of comments)
April 4, 2023	Plat approved
June 6, 2023	Plat recorded with Galveston County Clerk
June 8, 2023	Dickinson Senior Planner emailed the SUP applicant to inform them that since no permit had not been applied for and issued for the construction of a Church at 5818 E FM 517 as required by the approved SUP, the SUP approval will expire June 28, 2023. A SUP may be extended one (1) time, not to exceed six (6) months if requested prior to the expiration by City Council. If previous approval expires, the applicant would be required to go through the entire processes again.
June 27, 2023	SUP granted a 6-month extension by City Council
September 15, 2023	Obtained TxDOT driveway permit
September 28, 2023	Applied for A Commercial Building New Construction permit
October 2, 2023	1 st review of permit application completed
November 27, 2023	TxDOT driveway permit provided to the City
PENDING	Resubmission of plans
December 27, 2023	SUP and Site Development expired

Since the previous SUP and Site Development approvals have expired, the applicant is required to go through the processes again. City staff will continue to review resubmissions of their plans for permitting when they are submitted; this will allow the permit to be issued immediately once all corrections have been made and approvals are granted.

In considering any application for a Specific Use Permit, the commission and city council shall hold public hearings as with any amendment request and consider the criteria stated in article III, administration, but shall not be precluded from consideration of other factors which may be relevant to a particular application.

(1) Conformance of the proposed zoning classification with the city's land use policies.

The applicant has submitted this application to be in compliance with the City's zoning ordinance prior to requesting a building permit for a proposed church. Churches are permitted within all zoning districts with an approved SUP.

(2) The character of the neighborhood.

The subject tract is zoned Neighborhood commercial. Commercial uses are compatible with the existence of a church use in proximity. The proposed SUP would not affect the surrounding uses and would allow for continued commercial in the area.

Planning & Zoning Commission Update: The Commission has concerns regarding the large number of churches along FM 517 and throughout the City. He encourages community members to join one of the existing churches instead of building or starting new churches.

(3) The zoning and use of nearby properties, and the extent to which the proposed zoning and use would be compatible.

The SUP will be compatible with the use and enjoyment of other property in the immediate vicinity. The proposed development is consistent with the surrounding land uses, the current zoning of the subject site.

(4) The suitability of the property for the uses permitted by right in the proposed zoning district.

The uses permitted by right in the Neighborhood Commercial zoning district are comparable to a church use. Adjacent uses include Residential, Restaurants and vacant parcels.

(5) The extent to which approval of the application would detrimentally affect nearby properties.

The SUP will not detrimentally affect nearby properties. All uses and activities permitted shall conform to the city's performance measures and standards as provided in the Code of Ordinances. NC zoning requirements include a twenty-five (25) foot rear setback and vegetative buffer when adjacent to a residential district providing additional buffering between uses.

(6) The extent to which the proposed use would affect the capacity or safety of that portion of the street network, other public facilities or utilities, or present parking problems in the vicinity of the property.

The proposed church will not affect the capacity or safety of that portion of the street network, other public facilities or utilities, or present parking problems in the vicinity of the property. To obtain a Certificate of Occupancy the proposed church will have to meet all city ordinances.

(7) The extent to which approval of the application would harm the value of nearby properties.

Approval of the application would not harm the value of nearby properties. If the property is developed any further, the City of Dickinson Code of Ordinances will govern any adverse impacts.

Staff Recommendation:

Staff recommends **Approval** for proposed Specific Use Permit for a Church in a Neighborhood Commercial "NC" zoning district for the approx. ± 0.33-acres, located at 5818 E FM 517, legally described as ABST 36 W G BANKS RES A BLK 1 RPLT FKA LOTS 5-6-7 & 8 BLK 2 TROPICAL GARDENS.

Commission Recommendation:

Planning and Zoning Commission recommends **Approval** for the proposed Specific Use Permit for a Church by **3/2 vote** on the 19th day of March 2024.

BRUCE HENDERSON, Chairman
City of Dickinson, Texas
Planning and Zoning Commission